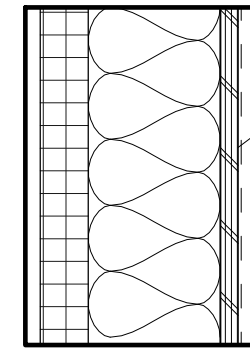


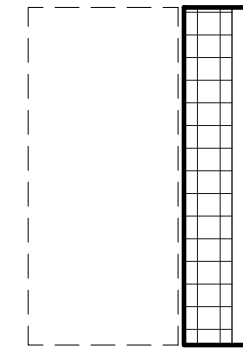
FLOOR ASSEMBLY TYPE
SLAB ON GRADE

- RUBBER FLOORING
- CONCRETE SLAB PER STRUCTURAL
- CONTINUOUS UNDERLAYER VAPOR BARRIER (10 MIL PLASTIC SHEETING)
- R-10 RIGID INSULATION THROUGHOUT
- 4" DRAINAGE GRAVEL



W-1
EXTERIOR WALL

- EXTERIOR FINISH
- CONTINUOUS WEATHER BARRIER
- PLYWOOD SHEATHING PER STRUCTURAL
- 2x6 WOOD FRAMING PER STRUCTURAL WITH MIN R-21 INSULATION
- 2" CONTINUOUS INSULATION
- 5/8" GWB



W-2
BUILT UP EXTERIOR WALL

- EXISTING MASS CONCRETE WALL
- VAPOR BARRIER
- CONTINUOUS INSULATION
- 5/8" GWB

3 FLOOR ASSEMBLY
SCALE: 1 1/2" = 1'-0"

4 EXTERIOR WALL ASSEMBLY
SCALE: 1 1/2" = 1'-0"

PROJECT DIRECTORY

SITE ADDRESS:
7376 SE 71ST STREET
MERCER ISLAND WA 98040

OWNER:
HULEN LLC
7376 SE 71ST STREET
MERCER ISLAND WA 98040

ARCHITECT:
SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS
1501 EAST MADISON STREET SUITE 205
SEATTLE, WA 98122
T: 206.322.1130
PRINCIPAL ARCHITECT:
RICHARD SUNDBERG
rick@skarchitects.com

CONTACT: MIKA SUNDBERG
mika@skarchitects.com

STRUCTURAL ENGINEER:
SWENSON SAY FAGET
2124 3RD AVE #100
SEATTLE WA 98121
CONTACT: ZANE KANYER
zane@zkanyer.com

CONTRACTOR:
SCHULTZ MILLER
1015 NE 413TH STREET
SEATTLE WA 98125
T: 206-281-1234

CONTACT: PATRICK KERR
pkerr@schultzmiller.com

ZONING / BUILDING CODE SUMMARY

ASSESSOR'S PARCEL NUMBER:
5368000260

LEGAL DESCRIPTION:
CITY OF MERCER ISLAND HULEN LLC LOT CONSOLIDATION NO. SUB 12-001, LOTS 19, 25 AND 26 MCLAN ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 81 OF PLATS, PAGES 76 AND 77, IN KING COUNTY WASHINGTON, TOGETHER WITH AN EASEMENT FOR ACCESS OVER THE SOUTHWESTERLY 10 FEET OF LOT 27 OF SAID ADDITION (AS DELINEATED ON THE FACE OF SAID PLAT) SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON, CONTAINING 52,687 SQFT

APPLICABLE CODES:
2015 INTERNATIONAL BUILDING CODE WITH STATEWIDE AND CITY AMENDMENTS
ICC/ANSI A117.1-09, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, WITH STATEWIDE AND CITY AMENDMENTS
2015 INTERNATIONAL RESIDENTIAL CODE WITH STATEWIDE AND CITY AMENDMENTS
2015 INTERNATIONAL MECHANICAL CODE WITH STATEWIDE AND CITY AMENDMENTS
2014 LIQUEFIED PETROLEUM GAS CODE (NFPA 58)
2015 NATIONAL FUEL GAS CODE (NFPA 54) FOR LP GAS
2015 INTERNATIONAL FUEL GAS CODE WITH STATEWIDE AND CITY AMENDMENTS
2015 INTERNATIONAL FIRE CODE WITH STATEWIDE AND CITY AMENDMENTS
2015 WASHINGTON STATE ENERGY CODE
WASHINGTON CITIES ELECTRICAL CODE

AUTHORITY HAVING JURISDICTION:
CITY OF MERCER ISLAND

PHYSICAL ADDRESS:
7376 SE 71ST STREET
MERCER ISLAND WA 98040

LOT SIZE:
52,687 SQFT

LAND USE DESIGNATION:
USES PERMITTED IN ZONES: R-8,R-9.6, R-12 AND R-15

PROJECT DESCRIPTION:
EXPANSION OF DAYLIT BASEMENT TO OCCUPY SPACE UNDER EXISTING MAIN LEVEL DECK. NO NEW IMPERVIOUS SURFACE ADDED TO LOT

HEIGHT:
NO CHANGE PROPOSED

YARD SETBACKS:
SHORELINE SETBACK: 25 FEET
SIDE: 10 FEET (NORTH) 5FT (SOUTH)
REAR: 20 FEET
NO PROJECTIONS INTO SETBACKS. PROPOSED PROJECT IS UNDERNEATH EXISTING DECK.

ENERGY CODE COMPLIANCE:
WASHINGTON STATE ENERGY CODE 2015

VERTICAL GLAZING: THE TOTAL GLAZING AREA AS DEFINED IN CHAPTER 2 SHALL HAVE AN AREA WEIGHTED AVERAGE U-FACTOR NOT TO EXCEED THAT OF U-FACTORS 0.30 FOR GLAZING. PROPOSE TO USE QUANTUM WINDOWS DOUBLE PANED WITH DUAL LOW E COATING

PROPOSE TO USE QUANTUM LIFT AND SLIDE DOUBLE PANED DUAL LOW E COATS UFACTOR 0.29

CEILING: NA

WALL ABOVE GRADE: MIN R-21 INSULATION WITH STANDARD FRAMING 16IN OC WITH HEADERS INSULATED WITH MIN OF R-10 INSULATION

SLAB ON GRADE: SLAB ON GRADE INSULATION SHALL BE PLACED ON THE OUTSIDE OF THE FOUNDATION OR ON THE INSIDE OF THE FOUNDATION WALL. THE INSULATION SHALL EXTEND DOWNWARD FROM THE TOP OF THE SLAB FOR A MINIMUM DISTANCE OF 24 INCHES OR DOWNWARD TO AT LEAST THE BOTTOM OF THE SLAB AND THEN CONTINUOUS HORIZONTALLY TO THE INTERIOR. MIN R-10

GROSS FLOOR AREA: THE GROSS FLOOR AREA OF A SINGLE FAMILY STRUCTURE SHALL NOT EXCEED 45% OF THE LOT AREA.
GROSS FLOOR AREA = 15532 SF / LOT AREA = 53831 SF = 28% OF LOT AREA OK

LOT COVERAGE: MAXIMUM IMPERVIOUS SURFACE LIMITS FOR LOTS. THE TOTAL PERCENTAGE OF A LOT THAT CAN BE COVERED BY IMPERVIOUS SURFACES (INCLUDING BUILDINGS) IS LIMITED BY THE SLOPE OF THE LOT FOR ALL SINGLE FAMILY ZONES:
LOT SLOPE = 13.9%
NO ADDITIONAL IMPERVIOUS SURFACE PROPOSED

VICINITY MAP
NOT TO SCALE

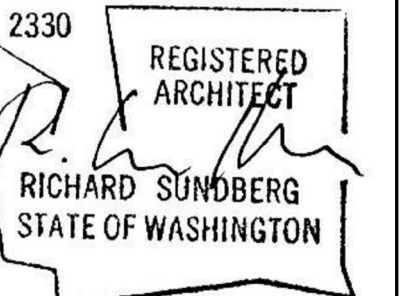


LOCATION MAP
NOT TO SCALE



**SUNDBERG
KENNEDY
LY-AU YOUNG
ARCHITECTS**

1501 E MADISON, SUITE 205
SEATTLE WA 98122-4465
206.322.1130



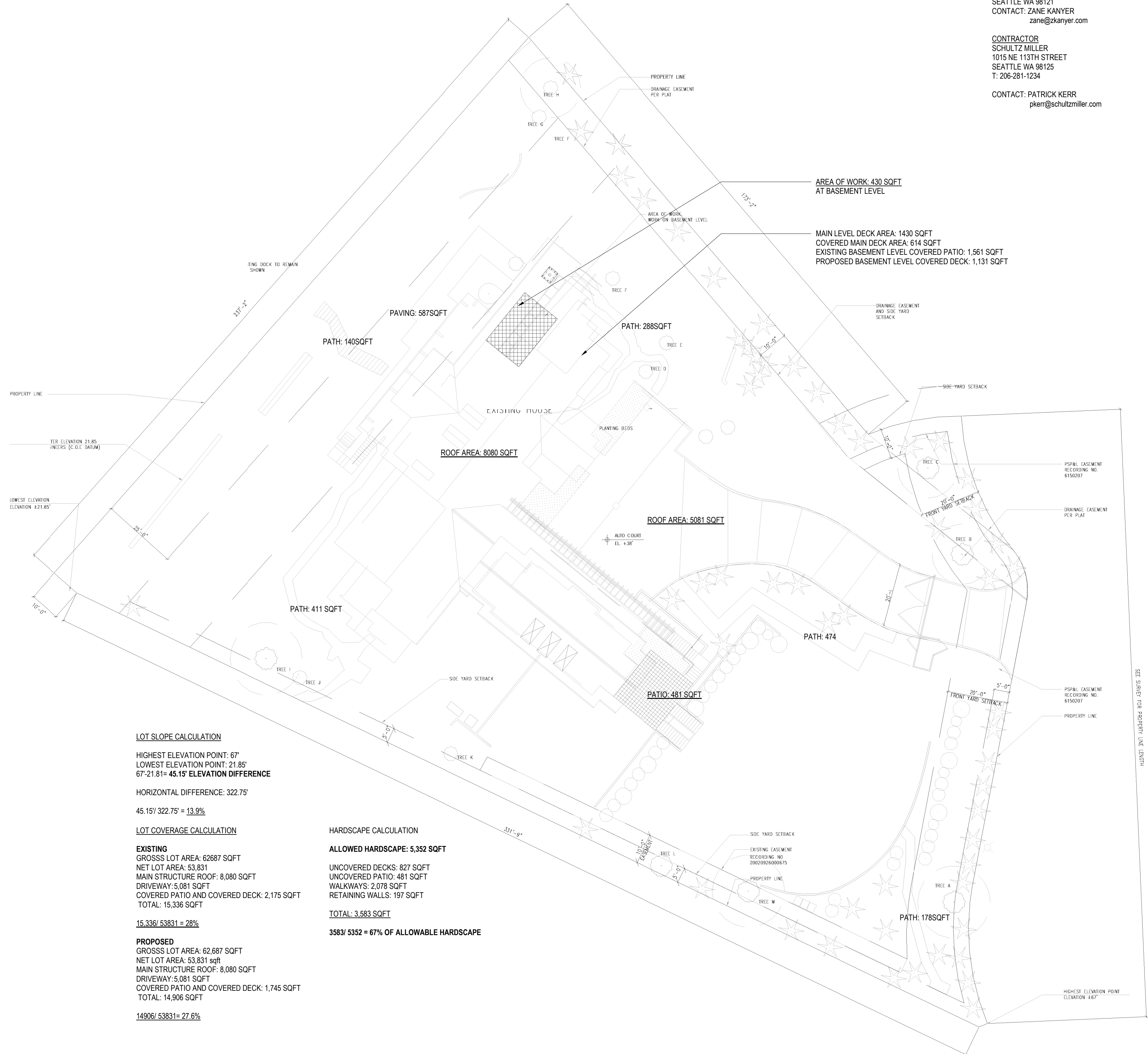
Official
Stamps:

HULEN
7376 SE 71st STREET
MERCER ISLAND WA 98040
REVISIONS

NO.	DESCRIPTION	DATE	PERMIT SET
			XX

Project number	Date	Project Manager	Drawn by	Checked by
20003	06/26/2020	MS	XXXXXXXXXX	Checker

SITE PLAN
A1.00
Scale: As Indicated



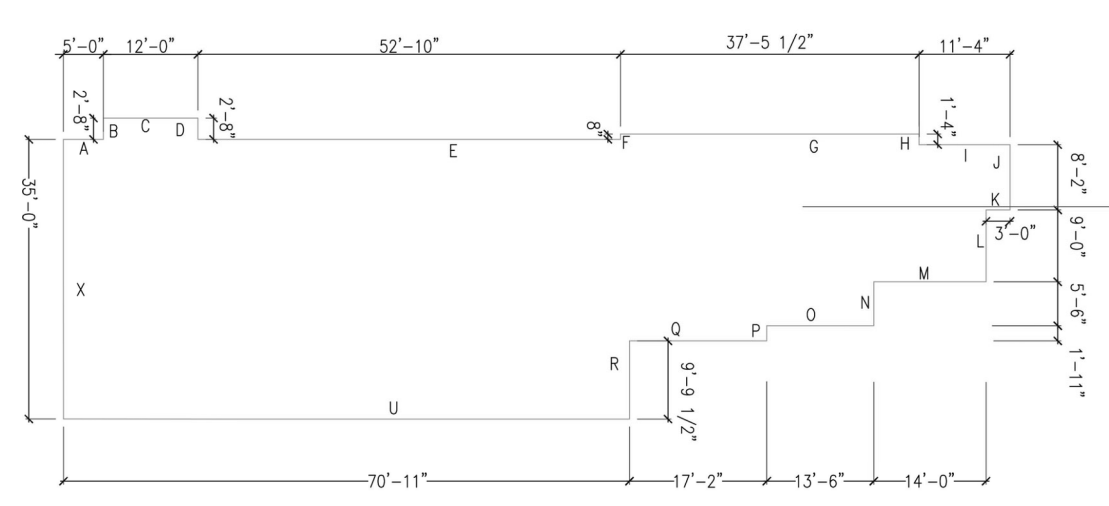
LOT SLOPE CALCULATION
HIGHEST ELEVATION POINT: 67'
LOWEST ELEVATION POINT: 21.85'
67'-21.85' = 45.15' ELEVATION DIFFERENCE
HORIZONTAL DIFFERENCE: 322.75'
45.15' / 322.75' = 13.9%

LOT COVERAGE CALCULATION
EXISTING
GROSS LOT AREA: 62687 SQFT
NET LOT AREA: 53,831
MAIN STRUCTURE ROOF: 8,080 SQFT
DRIVEWAY: 5,081 SQFT
COVERED PATIO AND COVERED DECK: 2,175 SQFT
TOTAL: 15,336 SQFT
15,336 / 53831 = 28%

PROPOSED
GROSS LOT AREA: 62,687 SQFT
NET LOT AREA: 53,831 sqft
MAIN STRUCTURE ROOF: 8,080 SQFT
DRIVEWAY: 5,081 SQFT
COVERED PATIO AND COVERED DECK: 1,745 SQFT
TOTAL: 14,906 SQFT
14906 / 53831 = 27.6%

HARDSCAPE CALCULATION
ALLOWED HARDSCAPE: 5,352 SQFT
UNCOVERED DECKS: 827 SQFT
UNCOVERED PATIO: 481 SQFT
WALKWAYS: 2,078 SQFT
RETAINING WALLS: 197 SQFT
TOTAL: 3,583 SQFT
3583 / 5352 = 67% OF ALLOWABLE HARDSCAPE

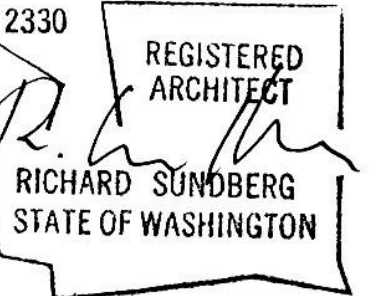
BASEMENT AREA CALCULATION



LABEL	LENGTH	COVERAGE	RESULT
A	5	90.08%	4.5
B	2.6	90%	2.34
C	12	90%	10.8
D	2.6	100%	2.6
E	25.8	100%	25.8
F	0.6	100%	0.6
G	37.5	100%	37.5
H	11.3	100%	11.3
I	1.3	100%	1.3
J	8.16	85%	6.936
K	3	75%	2.25
L	9	25%	2.25
M	1.4	0%	0
N	5.5	0%	0
O	13.5	0%	0
P	1.9	0%	0
Q	17.16	0%	0
R	9.16	0%	0
U	70.875	0%	0
X	35	0%	0
TOTAL	285.955		108.176

GROSS SQUARE FOOTAGE OF BASEMENT = 3560 SQ FT
BASEMENT AREA EXCLUDED = 1331 SQ FT
TOTAL BUILDING AREA = 10334 SQ FT
TOTAL PROPOSED GROSS FLOOR AREA = 10334 SQ FT
TOTAL LOT AREA = 10334 / 53831 SF = 19%

2 SITE PLAN
SCALE: 1" = 20'-0"



Official
Stamps:

HULEN
7376 SE 71st STREET
MERCER ISLAND WA 98040

NO.	DESCRIPTION	DATE
	PERMIT SET	XX
		06/26/2020

LOWER LEVEL PLAN

A2.00

Scale As Indicated

Project number	2003
Date	06/26/2020
Project Manager	MS
Drawn by	XXXXXXXXXX
Checked by	Checker

FLOOR PLAN LEGEND

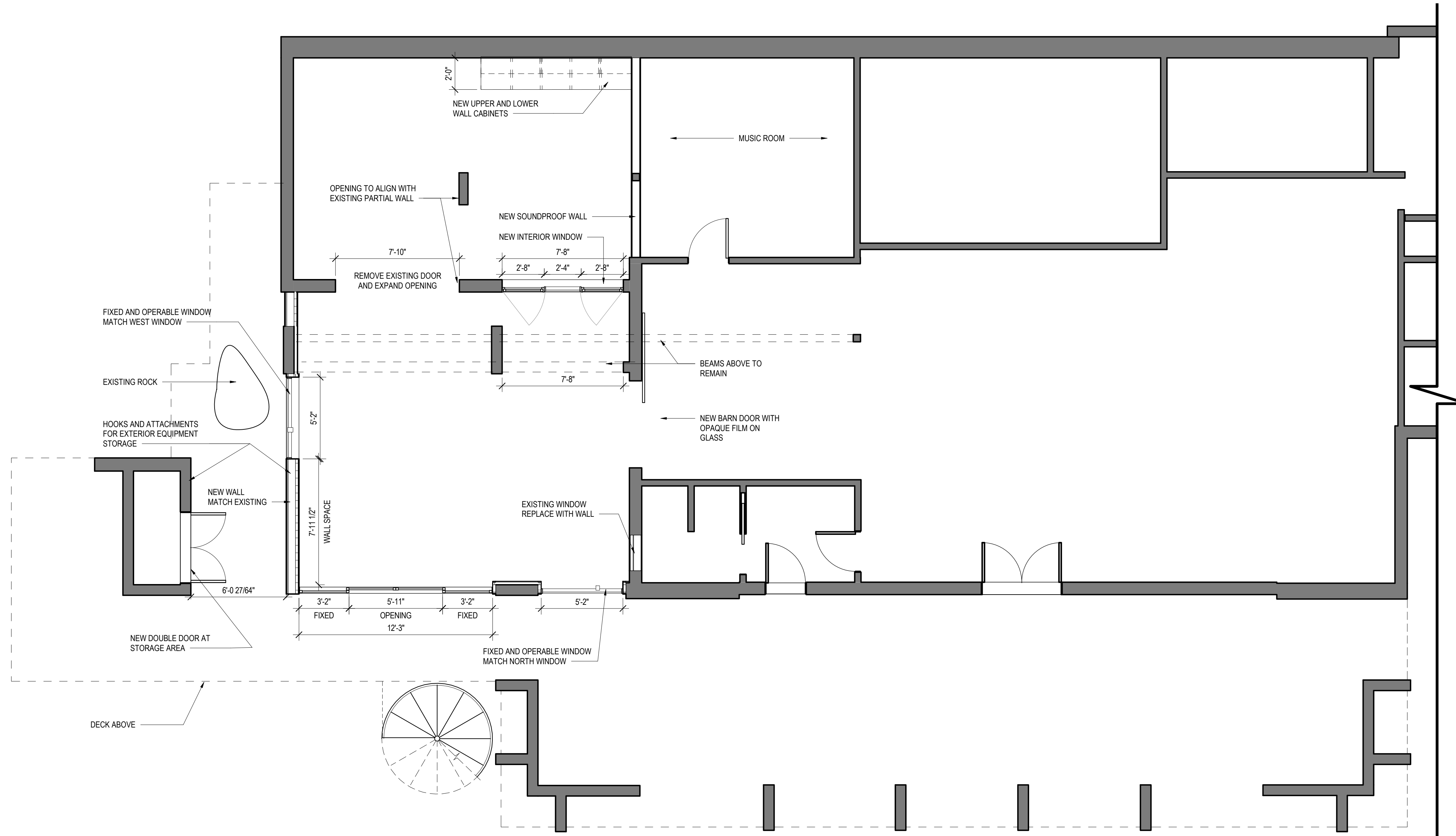
- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION

FLOOR PLAN LEGEND

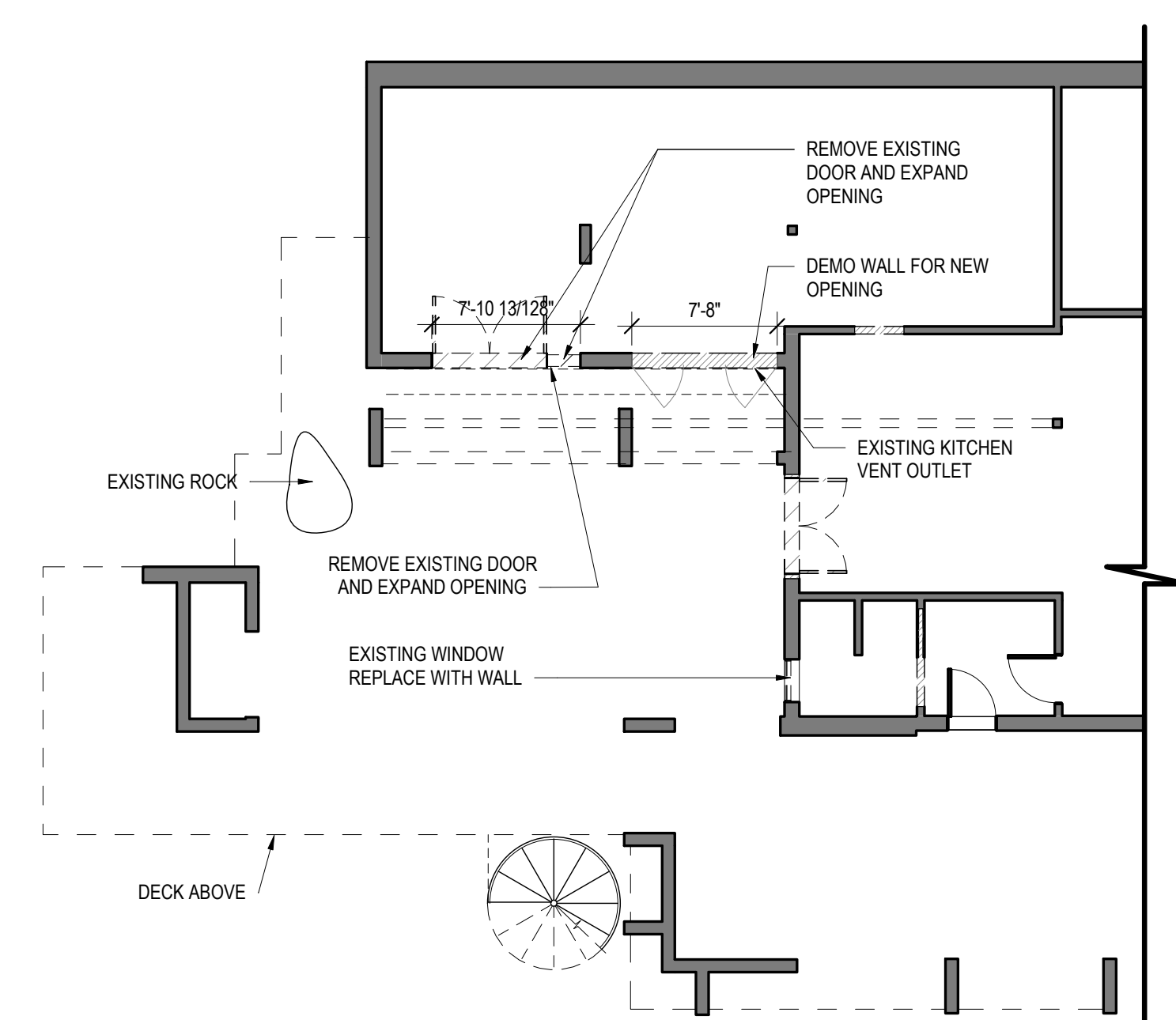
SCALE: 1/2" = 1'-0"

FLOOR PLAN NOTES

1. VERIFY ALL DIMENSIONS IN THE FIELD
2. INTERIOR DIMENSION TO F.O. FIN. WALL U.N.O



2 PROPOSED BASEMENT LEVEL PLAN
SCALE: 1/4" = 1'-0"



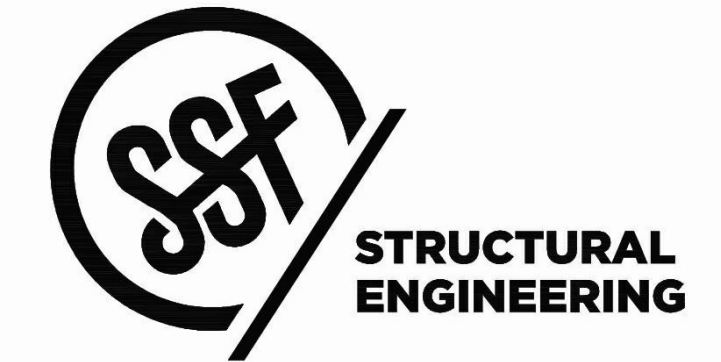
1 BASEMENT PLAN- DEMO
SCALE: 1/8" = 1'-0"

DEMOLITION PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED

DEMOLITION LEGEND

SCALE: 1/2" = 1'-0"

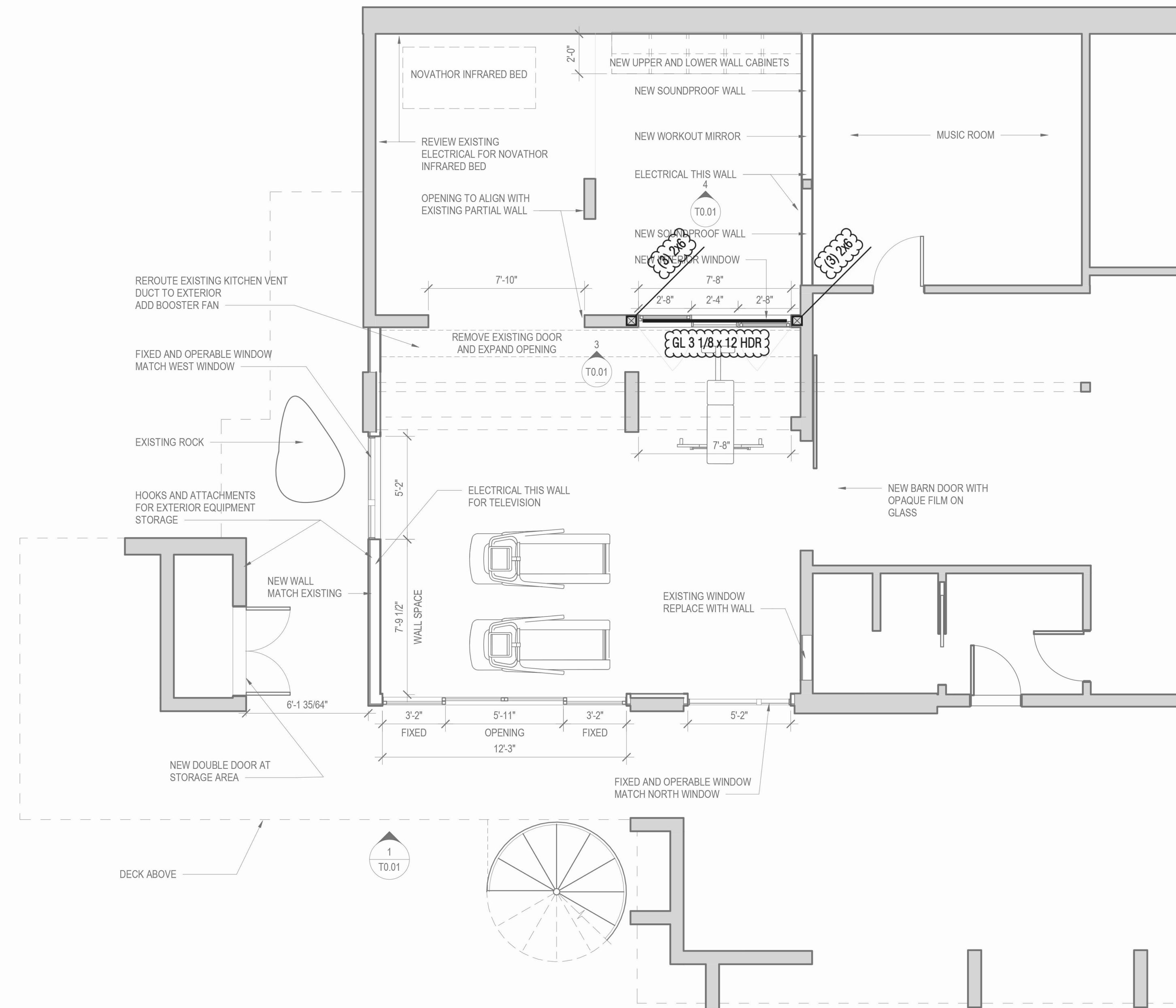


2124 Third Avenue - Suite 100 - Seattle, WA 98121
 p: 206.443.6212 ssfengineers.com

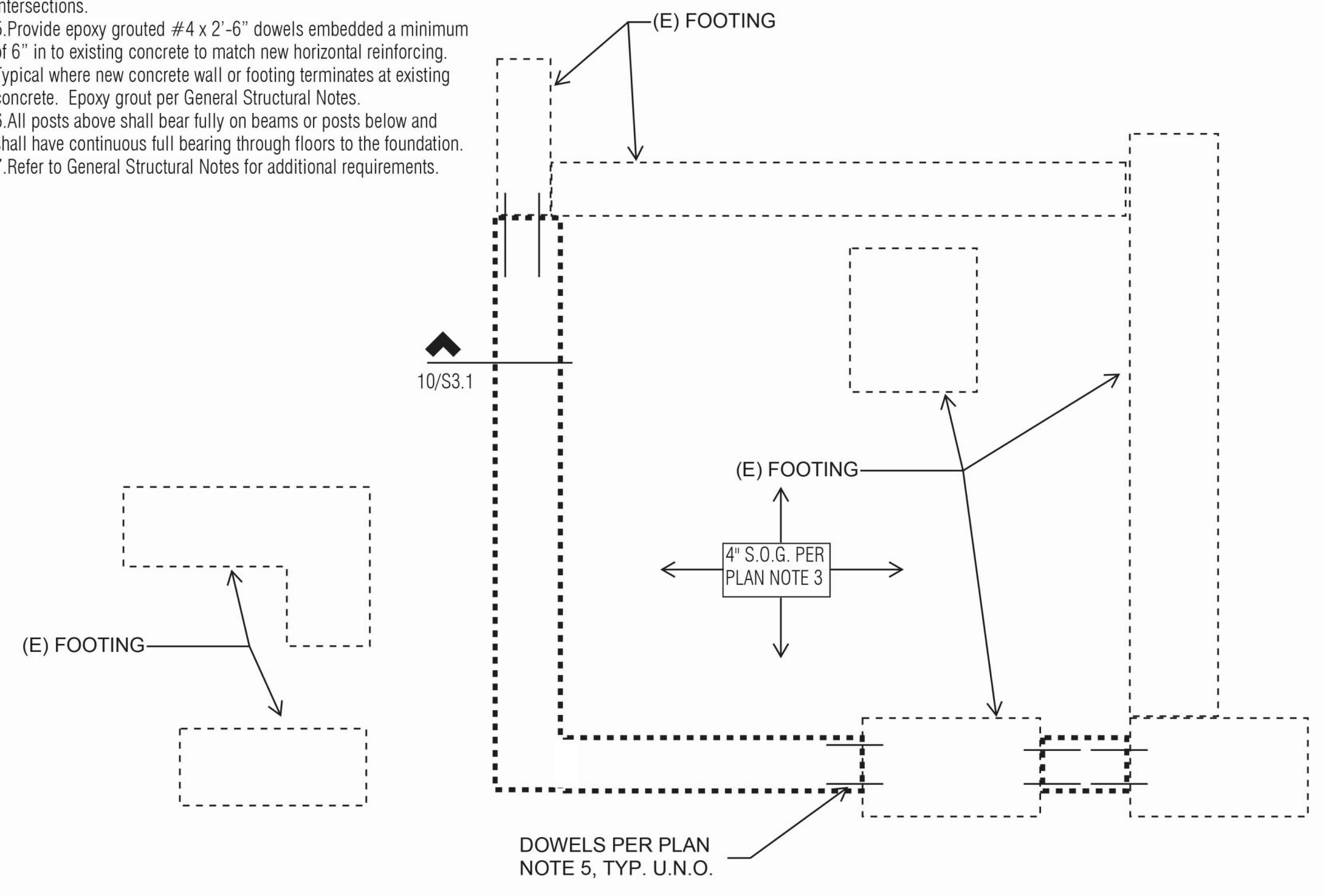
Copyright 2016 Swenson Say Fagét - All Rights Reserved

**SUNDBERG
 KENNEDY
 LY-AU YOUNG**
 ARCHITECTS

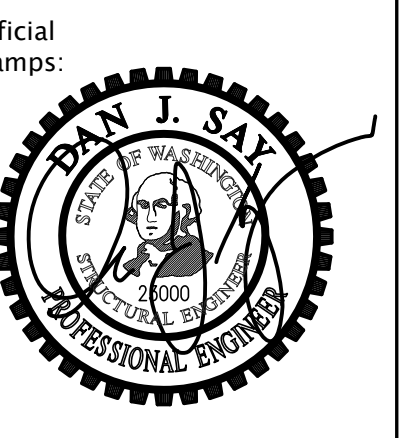
1501 E MADISON, SUITE 205
 SEATTLE WA 98122-4465
 206.322.1130



- Foundation Plan Notes: (Typical, Unless Noted Otherwise)**
1. Do not scale drawings. Refer to architectural drawings for all dimensions.
 2. The bottom of all exterior footings shall be 18" minimum below grade.
 3. 4" concrete slab over 10 mil vapor barrier on 4" of gravel or crushed rock over firm undisturbed soil or engineered compacted back-fill. Reinforce with #3 @ 16" oc. Provide construction/control joints per Detail 12/S3.1.
 4. Provide corner bars per Detail 8/S3.1 at all wall and footing intersections.
 5. Provide epoxy grouted #4 x 2'-6" dowels embedded a minimum of 6" in to existing concrete to match new horizontal reinforcing. Typical where new concrete wall or footing terminates at existing concrete. Epoxy grout per General Structural Notes.
 6. All posts above shall bear fully on beams or posts below and shall have continuous full bearing through floors to the foundation.
 7. Refer to General Structural Notes for additional requirements.

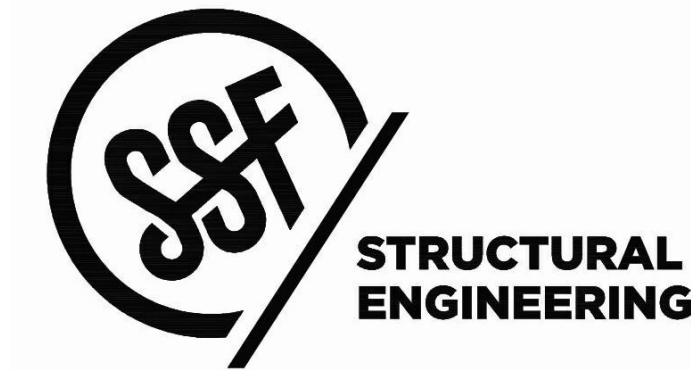


H:\KLL_2020\2020\Hull-Gaskin\11_REV\11_Mat\Basement-Engineering.dwg



HULEN 7376 SE 71st STREET MERCER ISLAND WA 98040		DATE 06/26/2020	PERMIT SET XX	06/26/2020
NO. DESCRIPTION	DATE	DATE	DATE	DATE

STRUCTURAL DRAWINGS S2.00 Scale	Project number 20003	Date 06/26/2020	Project Manager MS	Drawn by XXX/XX/XX	Checked by Checker
----------------------------------------------	-------------------------	--------------------	-----------------------	-----------------------	-----------------------



2124 Third Avenue - Suite 100 - Seattle, WA 98121
 p: 206.443.6212 sfengineers.com

Copyright 2016 Swenson Say Fagét - All Rights Reserved

SUNDBERG
 KENNEDY
 LY-AU YOUNG
 ARCHITECTS

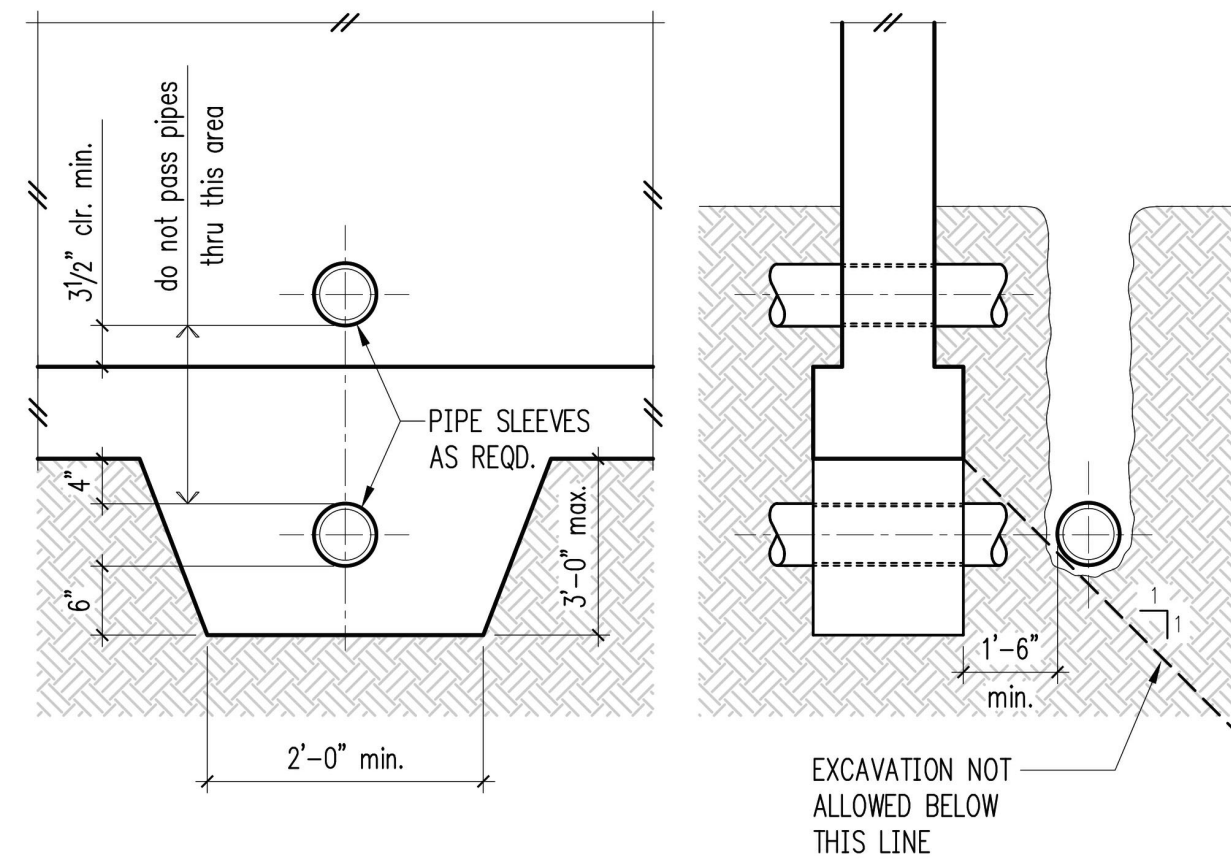
1501 E MADISON, SUITE 205
 SEATTLE WA 98122-4465
 206.322.1130

1

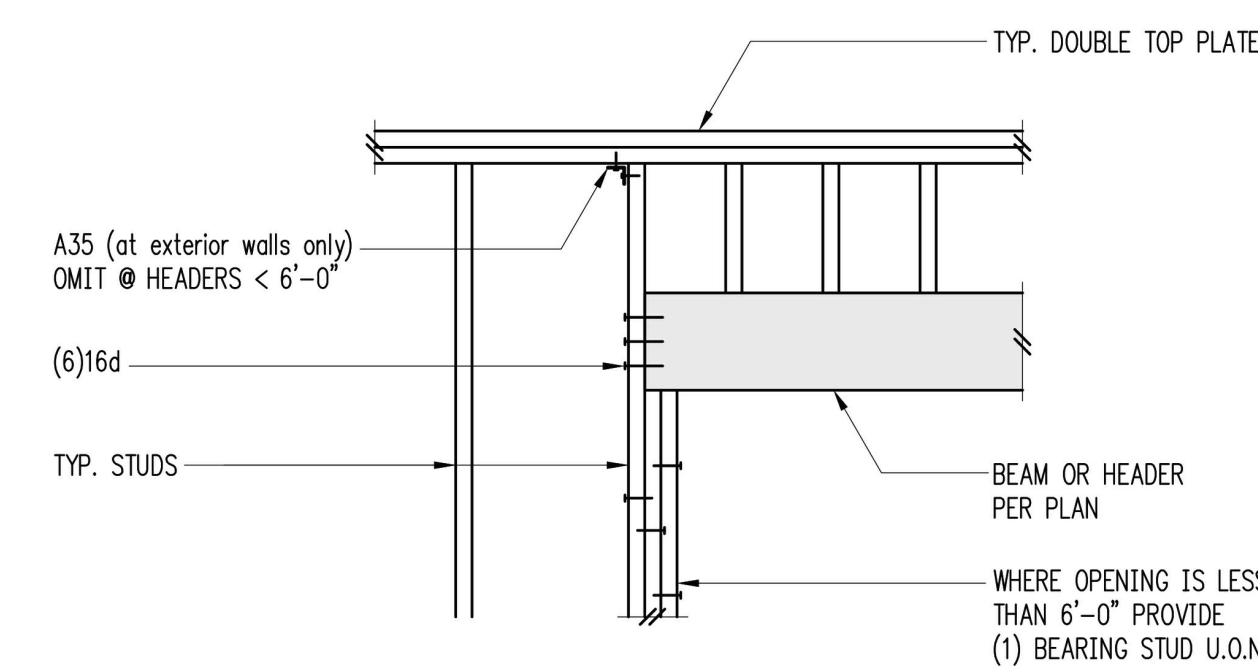
2

3

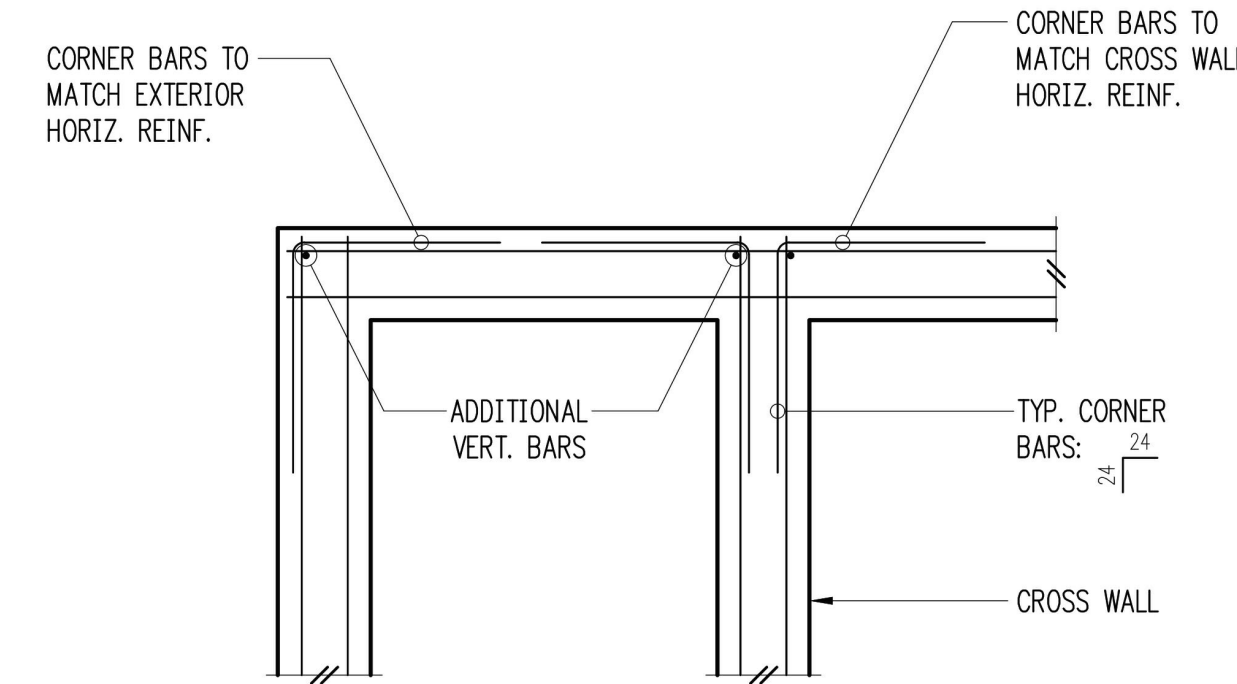
4



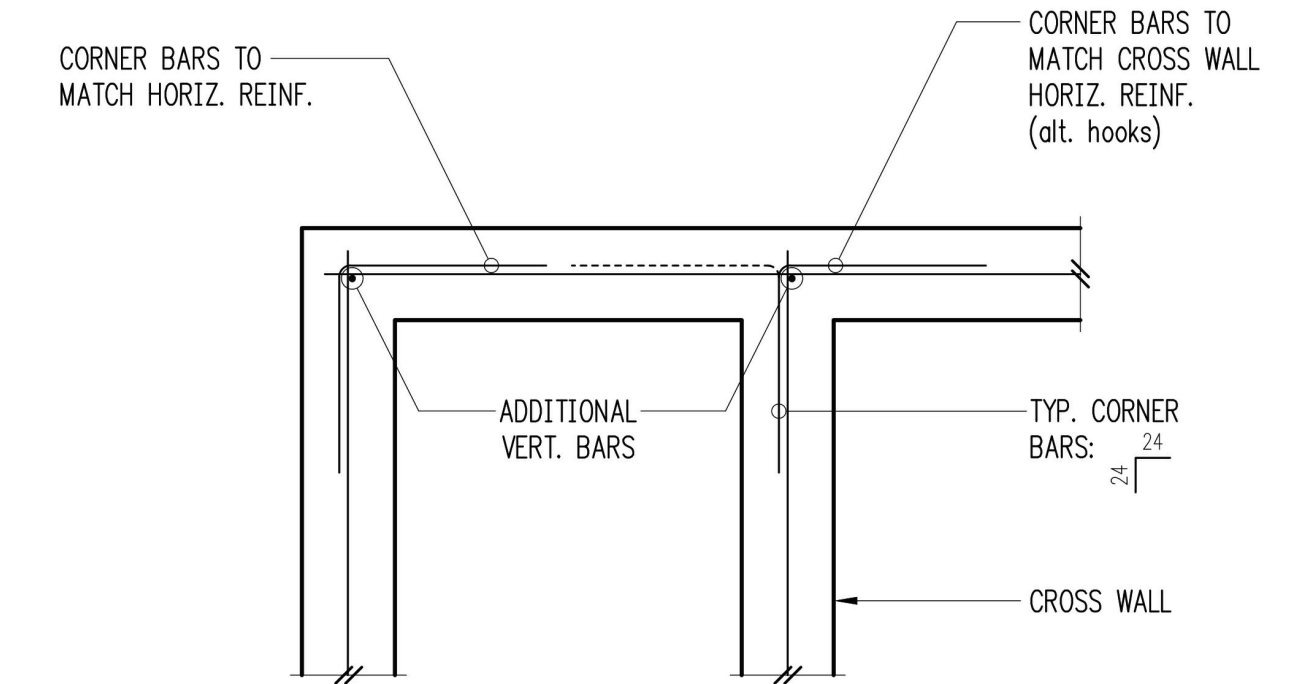
Pipe and Trench Locations 5



Exterior Wall w/ Slab on Grade 10

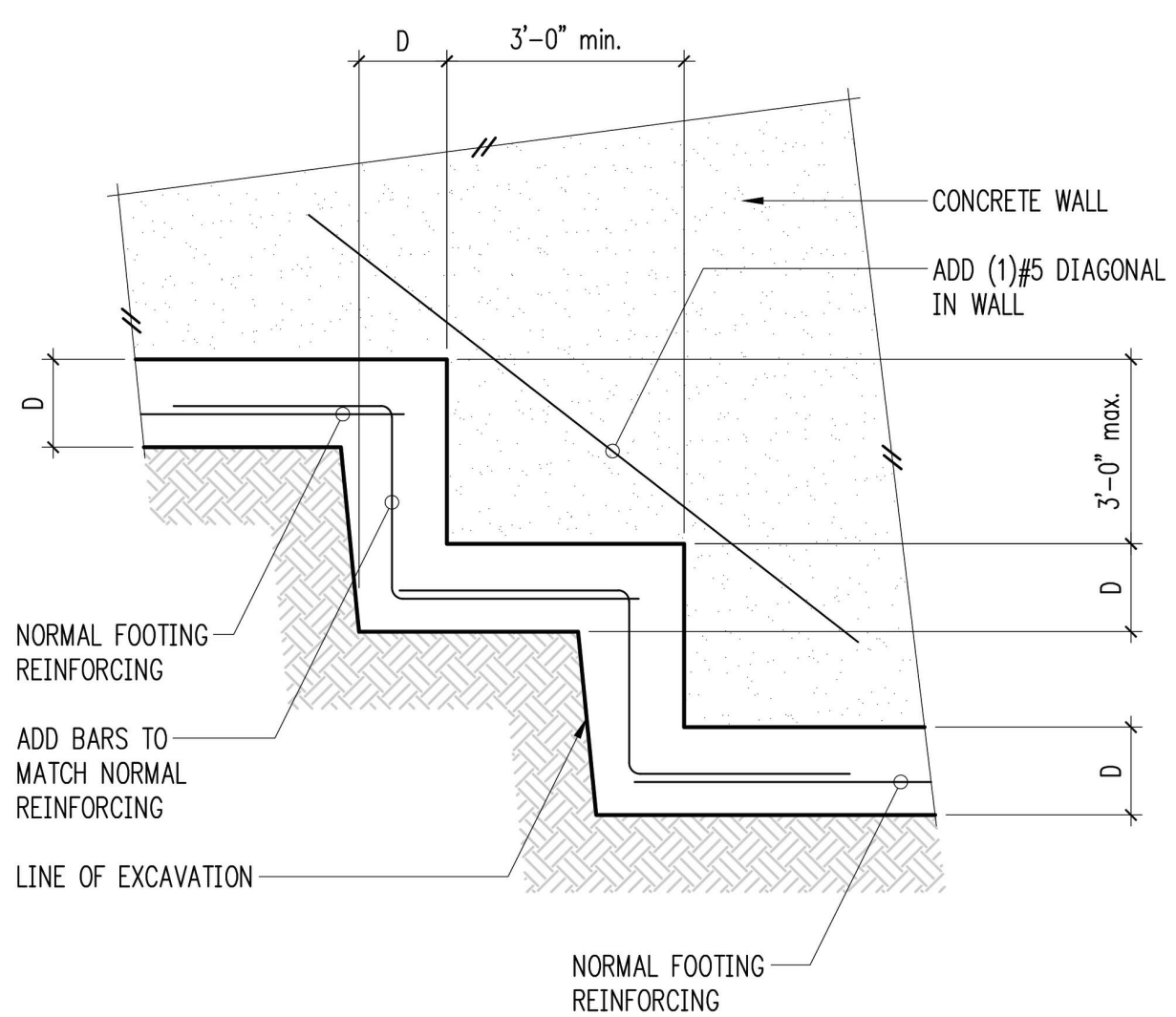


Double Curtain

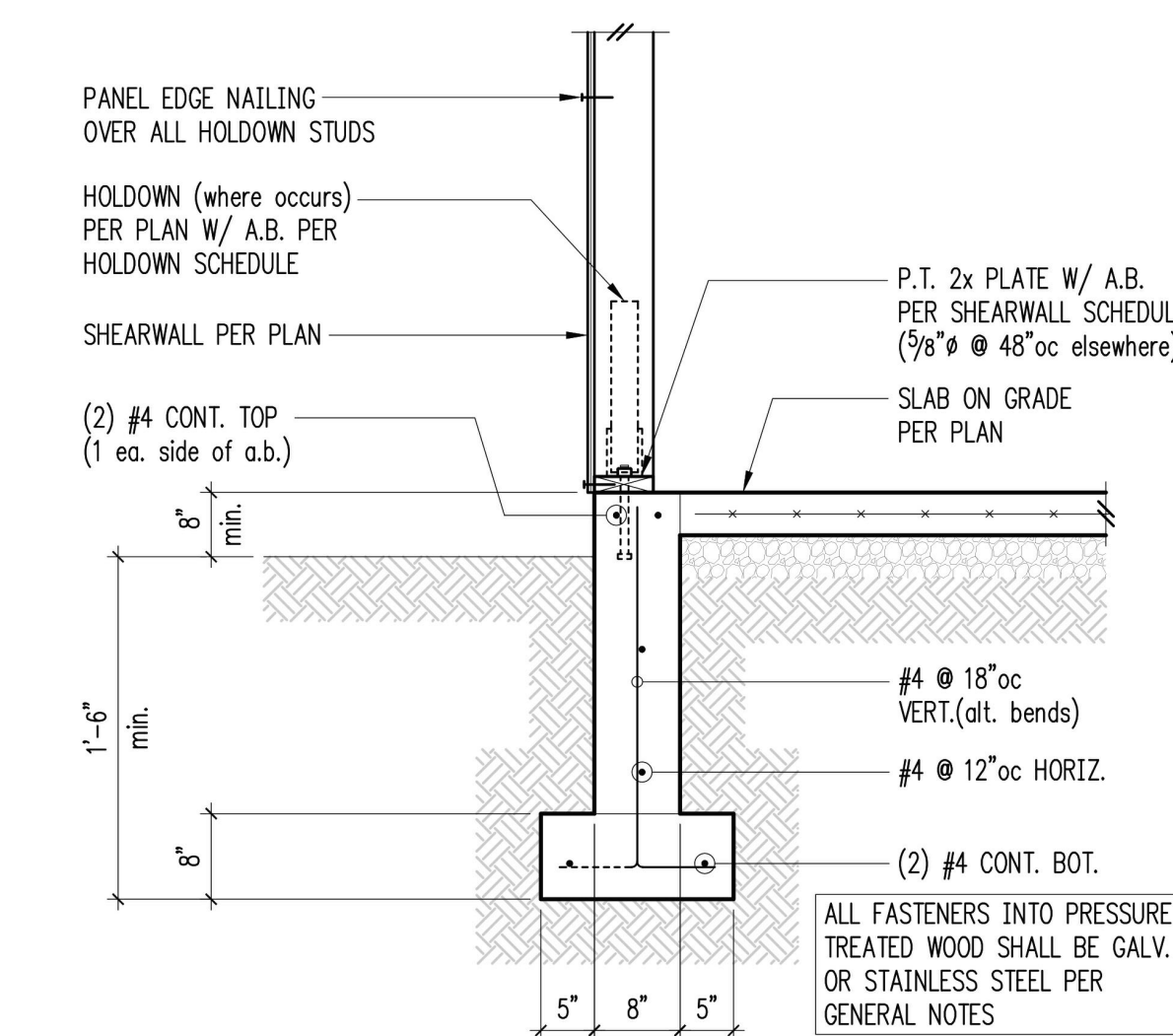


Single Curtain

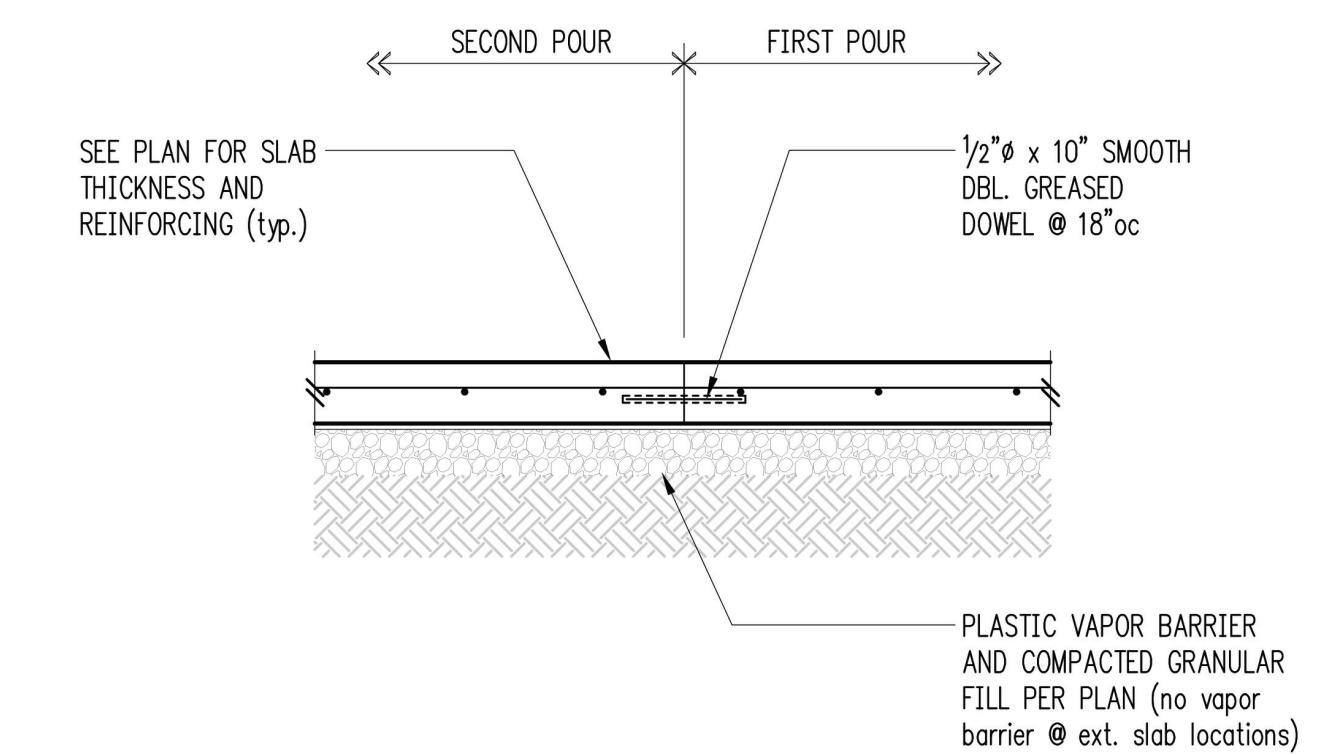
Typical Corner Bars at Concrete Walls and Footings 8



Typical Stepped Footing 9



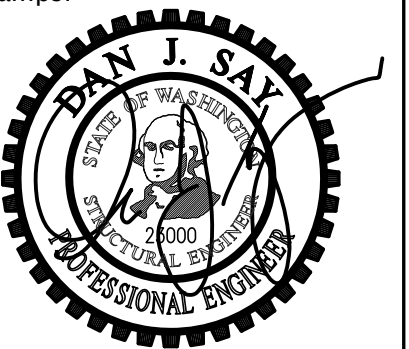
Control Joint



Construction Joint

Typical Slab Joints 12

Official Stamps:



HULEN 7376 SE 71st STREET MERCER ISLAND WA 98040	DATE	PERMIT SET	XX
	NO. DESCRIPTION	DATE	06/26/2020

Project number	2003	Checked by	
Date	06/26/2020	Project Manager	MS
Drawn by	XXXX/XXXX	Drawn by	XXXX/XXXX

STRUCTURAL DETAILS

S3.10

Scale