FLOOR ASSEMBLY

SCALE: $1 \frac{1}{2} = 1'-0''$

FLOOR ASSEMBLY TYPE SLAB ON GRADE - RUBBER FLOORING - CONCRETE SLAB PER STRUCTURAL

-4" DRAINAGE GRAVEL

- CONTINUOUS UNDERSLAB VAPOR

BARRIER (10 MIL PLASTIC SHEETING)

TING DOCK TO REMAIN SHOWN

- R-10 RIGÌD INSULATION THROUGHOUT

EXTERIOR WALL -EXTERIOR FINISH -CONTINUOUS WEATHER BARRIER - PLYWOOD SHEATHING PER STRUCTURAL

WITH MIN R-21 INSULATION

EVIDINA HAAPE

ROOF AREA: 8080 SQFT

PLANTING BEDS

- 5/8" GWB

EXTERIOR WALL ASSEMBLY

PAVING: 587SQFT

PATH: 140SQFT

PATH: 411 SQFT

HARDSCAPE CALCULATION

ALLOWED HARDSCAPE: 5,352 SQFT

3583/ 5352 = 67% OF ALLOWABLE HARDSCAPE

UNCOVERED DECKS: 827 SQFT

UNCOVERED PATIO: 481 SQFT

RETAINING WALLS: 197 SQFT

WALKWAYS: 2,078 SQFT

TOTAL: 3,583 SQFT

LOT SLOPE CALCULATION

45.15'/ 322.75' = <u>13.9%</u>

NET LOT AREA: 53,831

DRIVEWAY: 5,081 SQFT

TOTAL: 15,336 SQFT

<u>15,336/ 53831 = 28%</u>

PROPOSED

EXISTING

HIGHEST ELEVATION POINT: 67' LOWEST ELEVATION POINT: 21.85' 67'-21.81**= 45.15' ELEVATION DIFFERENCE**

HORIZONTAL DIFFERENCE: 322.75'

LOT COVERAGE CALCULATION

GROSSS LOT AREA: 62687 SQFT

GROSSS LOT AREA: 62,687 SQFT

MAIN STRUCTURE ROOF: 8,080 SQFT

NET LOT AREA: 53,831 sqft

DRIVEWAY: 5,081 SQFT

TOTAL: 14,906 SQFT

<u>14906/ 53831= 27.6%</u>

MAIN STRUCTURE ROOF: 8,080 SQFT

COVERED PATIO AND COVERED DECK: 2,175 SQFT

COVERED PATIO AND COVERED DECK: 1,745 SQFT

- 2" CONTINOUS INSULATION

- 2X6 WOOD FRAMING PER STRUCTURAL

PROPERTY LINE

— DRAINAGE EASEMENT PER PLAT

WORK ON BASEMENT LEVEL

ROOF AREA: 5081 SQFT

BUILT UP EXTERIOR WALL

- EXISTING MASS CONCRETE WALL - VAPOR BARRIER - CONTINUOUS INSULATION - 5/8" GWB

AREA OF WORK: 430 SQFT AT BASEMENT LEVEL

PATH: 474

_SIDE YARD SETBACK

_PROPERTY_LINE

TREE M

MAIN LEVEL DECK AREA: 1430 SQFT

COVERED MAIN DECK AREA: 614 SQFT

EXISTING BASEMENT LEVEL COVERED PATIO: 1,561 SQFT

PROPOSED BASEMENT LEVEL COVERED DECK: 1,131 SQFT

PROJECT DIRECTORY ZONING / BUILDING CODE SUMMARY ASSESSOR'S PARCEL NUMBER: SITE ADDRESS: 7376 SE 71ST STREET

OWNER: HULEN LLC

7376 SE 71ST STREET

SEATTLE, WA 98122 T: 206.322.1130

PRINCIPAL ARCHITECT:

RICHARD SUNDBERG

rick@sklarchitects.com

CONTACT: MIKA SUNDBERG

STRUCTURAL ENGINEER: SWENSON SAY FAGET

CONTACT: ZANE KANYER

2124 3RD AVE #100 SEATTLE WA 98121

CONTRACTOR

T: 206-281-1234

SCHULTZ MILLER

1015 NE 113TH STREET SEATTLE WA 98125

CONTACT: PATRICK KERR

MERCER ISLAND WA 98040

1501 EAST MADISON STREET SUITE 205

mika@sklarchitects.com

zane@zkanyer.com

pkerr@schultzmiller.com

- DRAINAGE EASEMENT PER PLAT

PSP&L EASEMENT RECORDING NO. 6150207

- PROPERTY LINE

HIGHEST ELEVATION POINT ELEVATION ±67'

MERCER ISLAND WA 98040

CITY OF MERCER ISLAND HULEN LLC LOT CONSOLIDATION NO. SUB 12-001. LOTS 19, 25 AND 26 MCLEAN ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 81 OF PLATS, PAGES 76 AND 77, IN KING COUNTY WASHINGTON. TOGETHER WITH AN EASEMENT FOR ACCESS OVER THE SOUTHWESTERLY 10 FEET OF LOT 27 OF SAID ADDITION (AS DELINEATED ON THE FACE OF SAID PLAT) SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON. CONTAINING 52,687 SQFT

ARCHITECT:
SUNDBERG KENNEDY LY-AUYOUNG ARCHITECTS APPLICABLE CODES:
2015 INTERNATIONAL BUILDING CODE WITH STATEWIDE AND CITY AMENDMENTS
ICC/ANSI A117.1-09, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, WITH STATEWIDE AND CITY AMENDMENTS 2015 INTERNATIONAL RESIDENTIAL CODE WITH STATEWIDE AND CITY AMENDMENTS 2015 INTERNATIONAL MECHANICAL CODE WITH STATEWIDE AND CITY AMENDMENTS 2014 LIQUEFIED PETROLEUM GAS CODE (NFPA 58) 2015 NATIONAL FUEL GAS CODE (NFPA 54) FOR LP GAS 2015 INTERNATIONAL FUEL GAS CODE WITH STATEWIDE AND CITY AMENDMENTS 2015 INTERNATIONAL FIRE CODE WITH STATEWIDE AND CITY AMENDMENTS 2015 WASHINGTON STATE ENERGY CODE WASHINGTON CITIES ELECTRICAL CODE

> **AUTHORITY HAVING JURISDICTION:** CITY OF MERCER ISLAND

PHYSICAL ADDRESS: 7376 SE 71ST STREET MERCER ISLAND WA 98040

LOT SIZE: 52,687 SQFT

<u>LAND USE DESIGNATION:</u> USES PERMITTED IN ZONES: R-8,R-9.6, R-12 AND R-15

PROJECT DESCRIPTION:

EXPANSION OF DAYLIT BASEMENT TO OCCUPY SPACE UNDER EXISTING MAIN LEVEL DECK. NO NEW IMPERVIOUS SURFACE ADDED TO LOT

<u>HEIGHT:</u> NO CHANGE PROPOSED

YARD SETBACKS: SHORELINE SETBACK: 25 FEET SIDE: 10 FEET (NORTH) 5FT (SOUTH)

REAR: 20 FEET NO PROJECTIONS INTO SETBACKS. PROPOSED PROJECT IS UNDERNEATH EXISTING DECK.

ENERGY CODE COMPLIANCE: WASHINGTON STATE ENERGY CODE 2015

VERTICAL GLAZING: THE TOTAL GLAZING AREA AS DEFINED IN CHAPTER 2 SHALL HAVE AN AREA WEIGHTED AVERAGE U-FACTOR NOT TO EXCEED THAT OF U-FACTORS 0.30 FOR GLAZING. PROPOSE TO USE QUANTUM WINDOWS DOUBLE PANED WITH DUAL LOW E

PROPOSE TO USE QUANTUM LIFT AND SLIDE DOUBLE PANED DUAL LOW E COATS UFACTOR

CEILING: NA

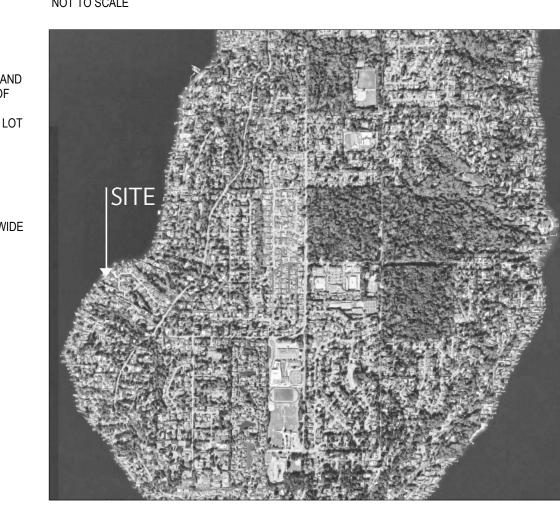
WALL ABOVE GRADE: MIN R-21 INSULATION WITH STANDARD FRAMING 16IN OC WITH HEADERS INSULATED WITH MIN OF R-10 INSULATION

SLAB-ON-GRADE: SLAB-ON-GRADE INSULATION SHALL BE PLACED ON THE OUTSIDE OF THE FOUNDATION OR ON THE INSIDE OF THE FOUNDATION WALL. THE INSULATION SHALL EXTEND DOWNWARD FROM THE TOP OF THE SLAB FOR A MINIMUM DISTANCE OF 24 INCHES OR DOWNWARD TO AT LEAST THE BOTTOM OF THE SLAB AND THEN CONTINUOUS HORIZONTALLY TO THE INTERIOR . MIN R-10

GROSS FLOOR AREA: THE GROSS FLOOR AREA OF A SINGLE FAMILY STRUCTURE SHALL NOT EXCEED 45% OF THE LOT AREA. GROSS FLOOR AREA = 15532 SF / LOT AREA = 53831 SF = 26% OF LOT AREA OK

MAXIMUM IMPERVIOUS SURFACE LIMITS FOR LOTS. THE TOTAL PERENTAGE OF A LOT THAT CAN BE COVERED BY IMERVIOUS SURFACES (INCLUDING BUILDINGS) IS LIMITED BY THE SLOPE OF THE LOT FOR ALL SINGLE FAMILY ZONES:

LOT SLOPE = 13.9% NO ADDITIONAL IMPERVIOUS SURFACE PROPOSED **VICINITY MAP**



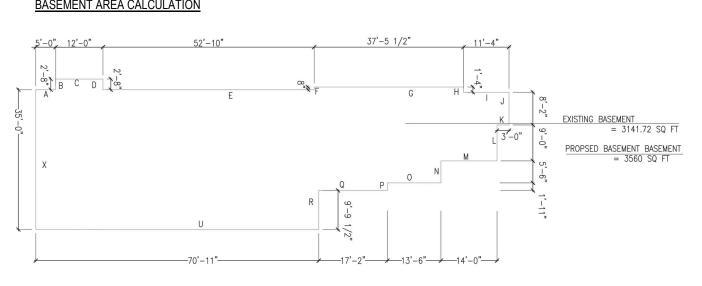
LOCATION MAP



GENERAL NOTES

- CODES: ALL WORK SHALL CONFORM APPLICABLE LAND USE AND BUILDING CODES AS AMENDED BY AUTHORITIES HAVING JURISDICTION.
- DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE CALCULATED DIMENSIONS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICTS EXIST.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCK-OUT, BLOCKING, BACKING, AND JACKS REQUIRED FOR INSTALLATIONS.
- DIMENSIONS ARE TO EXTERIOR FACE OF CONCRETE / WOOD FRAMING UNLESS
- OTHERWISE NOTED. EXTERIOR WALL FRAMING 2x6 WOOD STUDS UNLESS OTHERWISE NOTED.
- INTERIOR WALL FRAMING 2x4 WOOD STUDS UNLESS OTHERWISE NOTED.

BASEMENT AREA CALCULATION



GROSS SQUARE FOOTAGE OF BASEMENT BASEMENT AREA EXCLUDED = 1351 SQ FT TOTAL BUILDING AREA = 10334 SQ FT TOTAL PROPOSED GROSS FLOOR AREA

TOTAL LOT AREA = 10334/53831 SF = 19%

25.8 37.5 11.3 6.936 9.16 70.875 0%

SUNDBERG KENNEDY LY-AU YOUNG

ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130

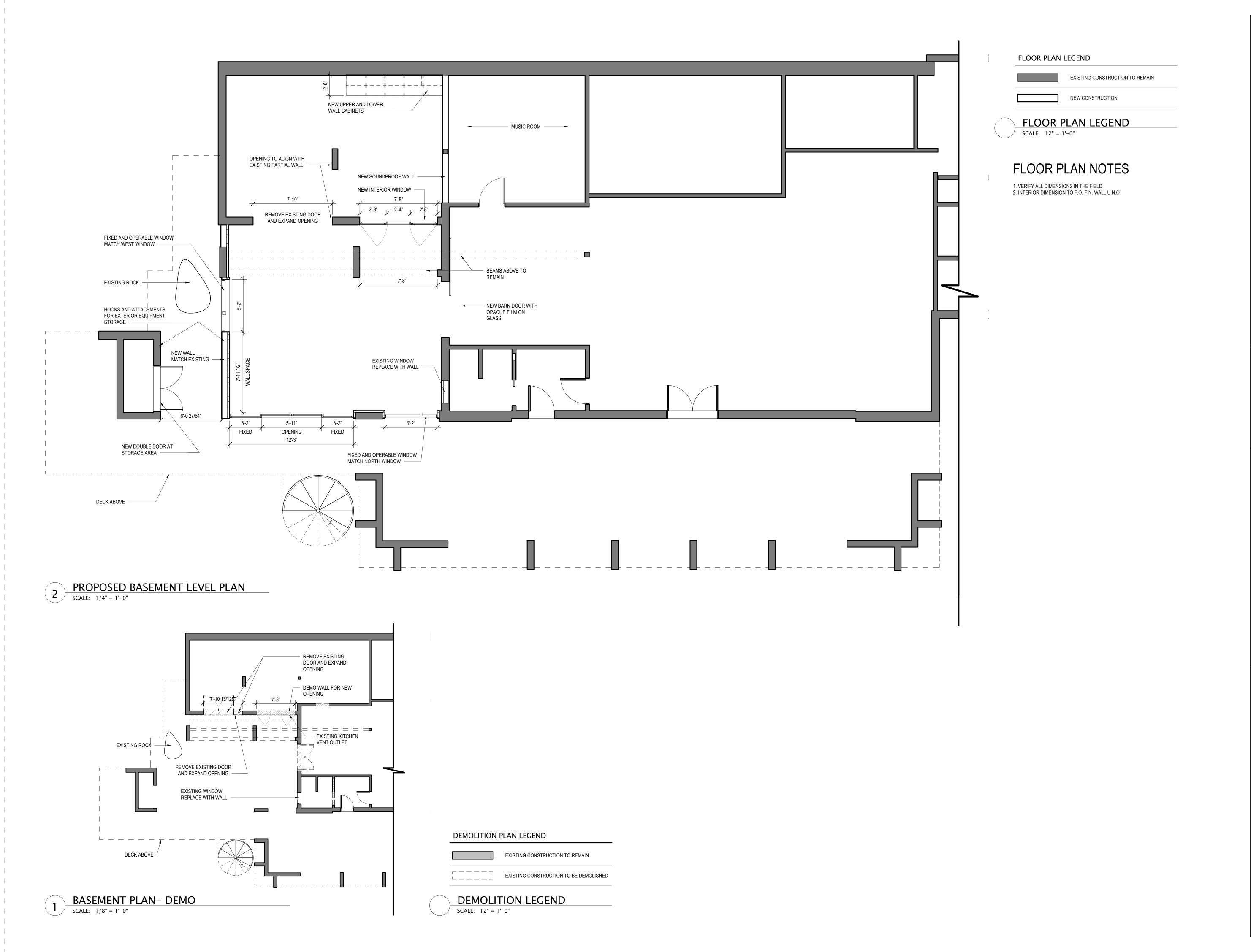
REGISTERED ARCHITECT STATE OF WASHINGTON

Official Stamps:

HULEN
7376 SE 71st STREET
MERCER ISLAND WA 980
REVISIONS
NO. DESCRIPTION

SITE PLAN SCALE: 1'' = 20'-0''

ELEVATION ±21.85'



SUNDBERG
KENNEDY
LY-AU YOUNG
ARCHITECTS

1501 E MADISON, SUITE 205
SEATTLE WA 98122-4465
206.322.1130

REGISTERED ARCHITECT

RICHARD SUNDBERG STATE OF WASHINGTON

Official Stamps:

E PERMIT SET

XX

XX

HULEN
7376 SE 71st STREET
MERCER ISLAND WA 98040
REVISIONS
NO. DESCRIPTION

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GENERAL STRUCTURAL NOTES

- 1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2015 EDITION).
- DESIGN LOADING CRITERIA:

SEE PLANS FOR ADDITIONAL LOADING CRITERIA

3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, THE SPECIFICATION, THESE GENERAL NOTES AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE GENERAL CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK.

4. PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTION, AND PLANS. DETAILING AND SHOP DRAWING PRODUCTION FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.

6. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION".

7. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.

8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. ALL TYPICAL NOTES AND DETAILS SHOWN ON DRAWINGS SHALL APPLY, UNLESS NOTED OTHERWISE. TYPICAL DETAILS MAY NOT NECESSARILY BE INDICATED ON THE PLANS BUT SHALL STILL APPLY AS SHOWN OR DESCRIBED IN THE DETAILS. WHERE TYPICAL DETAILS ARE NOTED ON THE PLANS, THE SPECIFIED TYPICAL DETAIL SHALL BE USED. WHERE NO TYPICAL DETAIL IS NOTED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE THE APPROPRIATE TYPICAL DETAIL FROM THOSE PROVIDED OR REQUEST ADDITIONAL INFORMATION. THE CONTRACTOR SHALL SUBMIT ALL PROPOSED ALTERNATE TYPICAL DETAILS TO THOSE PROVIDED WITH RELATED CALCULATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO SHOP DRAWING PRODUCTION AND FIELD USE.

9. ALL STRUCTURAL SYSTEMS, WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED, SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

QUALITY ASSURANCE

10. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 110 AND 1705 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION OF THE FOLLOWING TYPES OF CONSTRUCTION IS REQUIRED UNLESS NOTED OTHERWISE.

EXPANSION BOLTS AND THREADED EXPANSION INSERTS PER MANUFACTURER EPOXY GROUTED INSTALLATIONS PER MANUFACTURER

PERIODIC INSPECTION: INSPECTION SHALL BE PERFORMED AT INTERVALS NECESSARY TO CONFIRM THAT WORK REQUIRING SPECIAL INSPECTION IS IN COMPLIANCE WITH REQUIREMENTS.

CONTINUOUS INSPECTION: INSPECTOR SHALL BE ONSITE AND OBSERVE THE WORK REQUIRING INSPECTION AT ALL TIMES THAT WORK IS PERFORMED.

11. UNLESS OTHERWISE NOTED, THE FOLLOWING ELEMENTS COMPRISE THE SEISMIC-FORCE-RESISTING SYSTEM AND ARE SUBJECT TO SPECIAL INSPECTION FOR SEISMIC RESISTANCE IN ACCORDANCE WITH SECTION 1705.12 OF THE INTERNATIONAL BUILDING CODE.

A. STRUCTURAL WOOD SHEAR WALL SYSTEMS REQUIRE PERIODIC INSPECTION FOR FIELD GLUEING, NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC FORCE, RESISTING SYSTEM INCLUDING SHEAR WALLS, DIAPHRAGMS, DRAG STRUTS, BRACES AND HOLDOWNS.

GEOTECHNICAL

12. FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE AND LATERAL EARTH PRESSURE ARE ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN.

FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT FINISHED GRADE. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE.

BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING, GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE.

RENOVATION

13. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.

14. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DETERMINED DURING WORK VARY FROM THE EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS.

15. EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED.

- A. ALL NEW OPENINGS THROUGH EXISTING WALLS, SLABS AND BEAMS SHALL BE ACCOMPLISHED BY SAW
- CUTTING WHEREVER POSSIBLE. CORNERS SHALL NOT BE OVERCUT.

 B. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO CUTTING
- ANY OPENINGS.
- C. SMALL ROUND OPENINGS SHALL BE ACCOMPLISHED BY CORE DRILLING.

 D. WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, DRILL AND EPOXY DOWELS MATCHING

 THE NEW PENING POINTS THE EXISTING CONCRETE WITH SIZE OF THE DWINE NOTED ON
- WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, DRILL AND EPOXY DOWELS MATCHING THE NEW REINFORCING INTO THE EXISTING CONCRETE WITH 6" EMBED, UNLESS OTHERWISE NOTED ON PLANS.

16. CONTRACTOR SHALL CHECK FOR DRY ROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

CONCRETE

17. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF fc = 3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. REQUIRED CONCRETE STRENGTH IS BASED ON THE DURABILITY REQUIREMENTS OF SECTION 1904 OF THE IBC. DESIGN STRENGTH IS fc = 2,500 PSI.

G. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER UNLESS OTHERWISE NOTED.

18. A CONCRETE PERFORMANCE MIX SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH ACI 318-14, SECTIONS 26.4.3 AND 26.4.4. THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE PAID BY THE GENERAL CONTRACTOR. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY WITH CONTRACT DOCUMENTS. CONTRACTOR OR SUPPLIER MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.

19. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-14, TABLE 19.3.2.1 MODERATE EXPOSURE, F1.

20. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, FY = 60,000 PSI.

21. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315-99 AND 318-14. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318-14, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

22. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

23. CONCRETE WALL REINFORCING--PROVIDE THE FOLLOWING UNLESS DETAILED OTHERWISE:

6" WALLS #4 @ 16 HORIZ. #4 @ 18 VERTICAL 1 CURTAIN 8" WALLS #4 @ 12 HORIZ. #4 @ 18 VERTICAL 1 CURTAIN 10" WALLS #4 @ 18 HORIZ. #4 @ 18 VERTICAL 2 CURTAINS 12" WALLS #4 @ 16 HORIZ. #4 @ 18 VERTICAL 2 CURTAINS

24. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND

25. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3000 PSI MINIMUM).

ANCHORAGE

26. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2" WEDGE ANCHORS AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY AND INSTALLED IN STRICT CONFORMANCE TO ICC-ES REPORT NUMBER ESR-3037, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. PERIODIC SPECIAL INSPECTION IS REQUIRED TO VERIFY ANCHOR TYPE, ANCHOR DIMENSIONS, ANCHOR LOCATION, TIGHTENING TORQUE, HOLE DIMENSIONS, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS.

27. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "SET-XP" HIGH STRENGTH EPOXY AS MANUFACTURED BY THE SIMPSON STRONG, TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2508. MINIMUM BASE MATERIAL TEMPERATURE IS 50 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.

28. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "AT-XP" AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH IAMPO REPORT NO. ER-0281. MINIMUM BASE MATERIAL TEMPERATURE IS 14 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.

29. CONCRETE SCREW ANCHORS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "TITEN HD" HEAVY DUTY SCREW ANCHOR AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2713 (CONCRETE), NO. ESR-1056 (CMU), INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SCREW ANCHORS INTO CONCRETE MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SPECIAL INSPECTION IS REQUIRED.

WOOD

30. FRAMING LUMBER SHALL BE S-DRY, KD, OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD "GRADING RULES FOR WEST COAST LUMBER NO. 17", OR WWPA STANDARD, "WESTERN LUMBER GRADING RULES 2011". FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS (2X & 3X MEMBERS) HEM-FIR NO. 2
AND BEAMS MINIMUM BASE VALUE, Fb = 850 PSI

(4X MEMBERS) DOUGLAS FIR-LARCH NO. 1
MINIMUM BASE VALUE, Fb = 1000 PSI

BEAMS (INCL. 6X AND LARGER) DOUGLAS FIR-LARCH NO. 1
MINIMUM BASE VALUE, Fb = 1350 PSI

POSTS (4X MEMBERS) DOUGLAS FIR-LARCH NO. 2
MINIMUM BASE VALUE, Fc = 1350 PSI

(6X AND LARGER) DOUGLAS FIR-LARCH NO. 1
MINIMUM BASE VALUE, Fc = 1000 PSI

STUDS, PLATES & MISC. FRAMING: DOUGLAS FIR-LARCH NO. 2

OR HEM-FIR NO. 2

31. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND ANSI/AITC STANDARDS. EACH MEMBER SHALL BEAR AN AITC OR APA-EWS IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA-EWS CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2,400 PSI, Fv = 265 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2400 PSI, Fv = 265 PSI. CAMBER ALL SIMPLE SPAN GLULAM BEAMS, WITH SPANS OVER 30', TO 3,500' RADIUS, UNLESS SHOWN OTHERWISE ON THE PLANS.

32. PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1 OR PS 2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16.

FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

33. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.

34. PRESERVATIVE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD U1 TO THE USE CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO AWPA UC3B. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO AWPA UC4A. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO AWPA UC4B.

35. FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE NOTED.

WOOD TREATMENT CONDITION PROTECTION

HAS NO AMMONIA CARRIER INTERIOR DRY G90 GALVANIZED

CONTAINS AMMONIA CARRIER INTERIOR DRY G185 OR A185 HOT DIPPED OR

CONTINUOUS HOT-GALVANIZED

PER ASTM A653

CONTAINS AMMONIA CARRIER INTERIOR WET TYPE 304 OR 316 STAINLESS

CONTAINS AMMONIA CARRIER EXTERIOR TYPE 304 OR 316 STAINLESS

AZCA ANY TYPE 304 OR 316 STAINLESS

INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19%. WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19%. CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL. COMPLY WITH THE TREATMENT MANUFACTURERS RECOMMENDATIONS FOR PROTECTION OF METAL.

36. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2019. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER FOR MAXIMUM LOAD CARRYING CAPACITY. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM)AS MEMBERS CONNECTED.

7. WOOD FASTENERS

NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE LENGTH DIAME
6d 2" 0.113"
8d 2-1/2" 0.131"
10d 3" 0.148"
12d 3-1/4" 0.148"
16d BOX 3-1/2" 0.135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

38. NOTCHES AND HOLES IN WOOD FRAMING:

A. NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN SOLID SAWN JOISTS AND RAFTERS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST, AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.

B. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8 INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.

C. NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WEB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE NOTED.

39. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AWC "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.

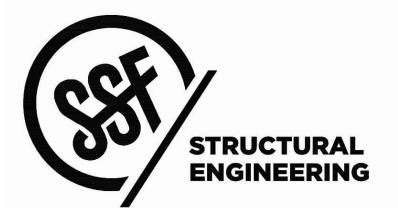
B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MIDHEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE EIGHT 16d NAILS @ 4" O.C. EACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL)APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES)AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKIN



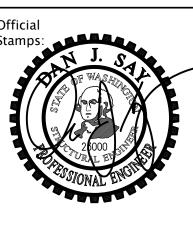
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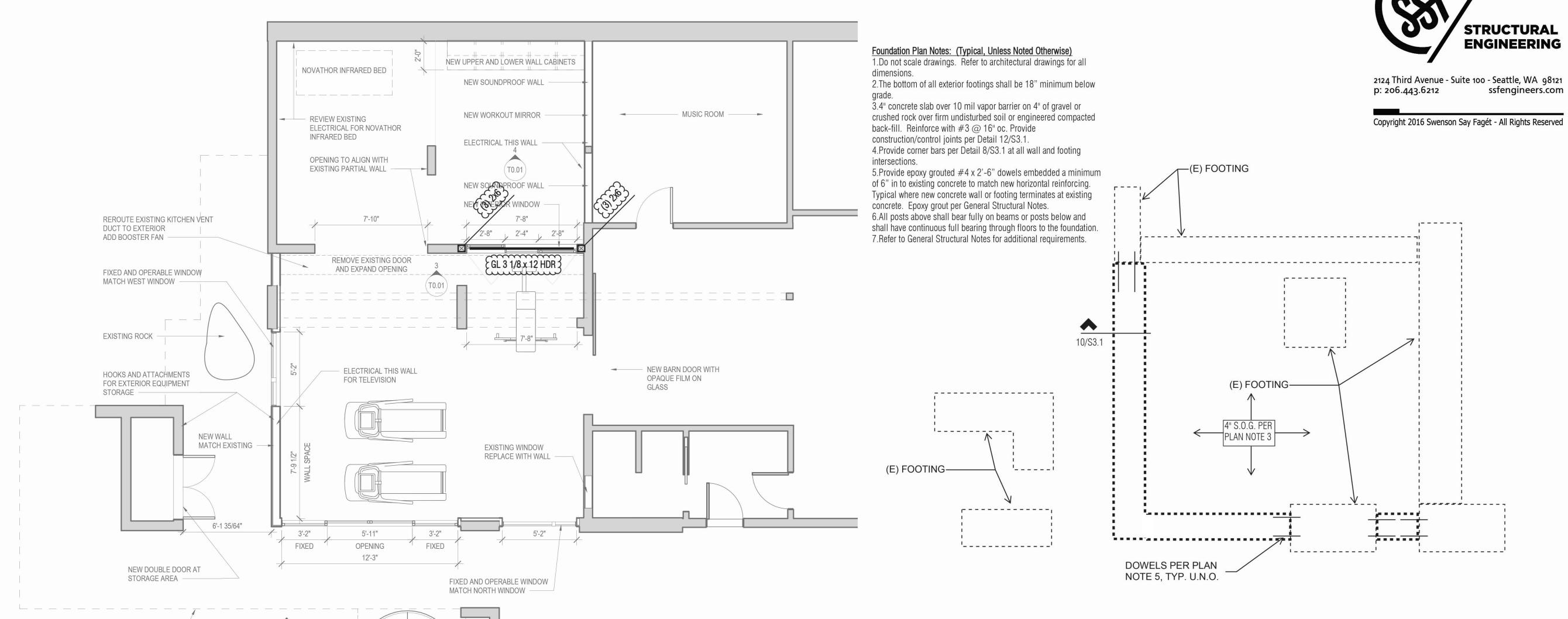
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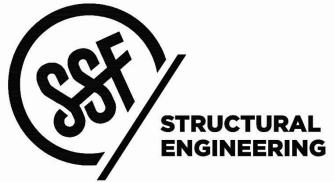
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